

Williamson County and Cities Health District

Environmental Health Services
303 Main Street
Georgetown, 78626
(512) 943-3620

NOTICE OF APPROVAL TO OPERATE AN OSSF

Permit #: 2009-43

Location: 22300 FM 971, Granger TX 76530

Permit Date: 3/18/2009

Block: Lot:

Owner: NEWSOM, JOHNNY S. & KATHERINE A.

Mailing address: 22300 FM 971 Granger TX 76530

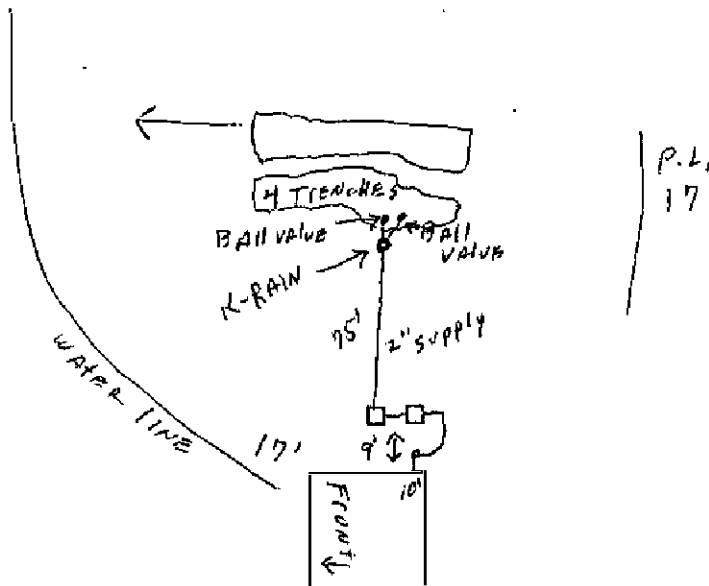
THIS IS TO CERTIFY that the on site sewage facility meets or exceeds the basic requirements established by the District.

LICENSE TO OPERATE this facility is hereby granted to the owner. This license simply grants permission to operate this facility; it does not guarantee its successful operation. Routine maintenance and proper functioning are the sole responsibility of the owner.

KEEP THIS LICENSE with important papers. You may need it when selling your house or if a malfunction occurs.

THIS LICENSE REMAINS in effect until such time as there is evidence that this facility is not operating properly and may constitute a threat to the health of the people of Williamson County.

DRAWING OF SYSTEM (Not to scale):



[Signature]
Agency Official

5/29/09
Date

M - 6/5/09
5/15/2009 08:27 AM Page 1

OS 7173

1ST inspection 3-30-09 2ND inspection 5-13-09
Pm

OSSF # 09-43

WILLIAMSON COUNTY AND CITIES HEALTH DISTRICT
ALTERNATIVE SEPTIC SYSTEM INSPECTION - FIELD NOTES

SITE LOCATION: 22300 Fm 971, Manger

INSTALLER: R. Sporken INSTALLER # 1773 PHONE # 217-3084

I. TANK TYPE:

1. Concrete ☒ Type: A. Box ☒ B. Oval ☐ C. Pump Tank ☒
2. Gallon Capacity 1250 2/c 3. Gallon Capacity 750
4. Other crete 1/c crete

Top Box Trenches
Approved only 3-30-09
Don
OS 8626

II. SOIL DISPOSAL FIELDS:

1. Type: A. Trenches ☒ B. Mound ☐ C. Aerobic ☐ D. Drip ☐
2. Setbacks: A. Tank to well n/a B. Absorption Field to well n/a C. Field to property line 17'
3. Dimensions of Fields: A. Field #1 10' x 90' = 900 Ft²
B. Field #2 10' x 18' = 180 Ft² Total 3600 Ft²
C. Depth of Fields 18"
4. Gravel on Site: ☒ Amount 48 Yards, estimated.
5. Sand on Site: n/a Amount n/a Yards estimated, Sandy Loam n/a Yards estimated.
6. Type of Diversion Valve Krain, Type of Pressure Valve Ball

III. GENERAL CONDITIONS AND WORKMANSHIP OPEN PIT: Date: 3-30-09 Inspector: Don

- | | Yes | No |
|--|-------------------------------------|--------------------------|
| 1. Solid lines from house glued in place. Schedule 40 equivalent | ☒ | ☐ |
| 2. All needed clean-outs in place | ☒ | ☐ |
| 3. Holes around inlet and outlet grouted or sealed <u>Form</u> | ☒ | ☐ |
| 4. Tank is watertight (filled to flow line) | ☒ | ☐ |
| 5. T's installed in tank with manufactured effluent filter | ☒ | ☐ |
| 6. Correct number and spacing of holes in the pipe <u>1"</u> | ☒ | ☐ |
| 7. Bed or trench bottom essentially level | ☒ | ☐ |
| 8. Evidence of seeps or shallow groundwater | ☒ | ☐ |
| 9. Backfill material and gravel cover on site | ☒ | ☐ |

APPROVED
Bottom Tank Trenches
3-31-09
Don
OS 8626

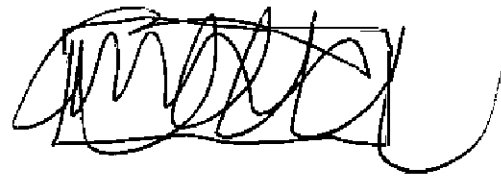
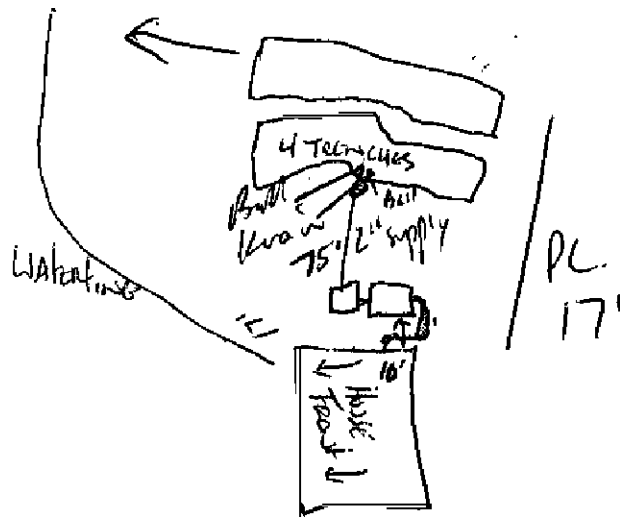
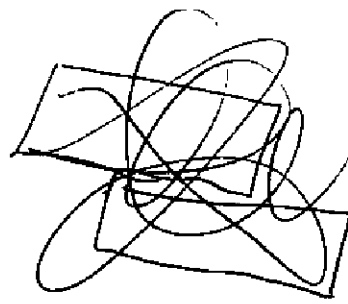
HEAD PRESSURE/ LANDSCAPE INSPECTION: Date: 5-14-09 Inspector: Don / Head Pressure

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| 1. Schedule 40 pipe from tank to valve and beds | ☒ | ☐ |
| 2. Pipe and field covered with gravel | ☒ | ☐ |
| 3. Head pressure set <u>5-14-09</u> <u>Don</u> <u>could not get heads</u> | ☒ | ☒ |
| 4. Soil conditions dry during installation | ☒ | ☐ |
| 5. Pump and Alarm are working | ☒ | ☐ |
| 6. The fields are mounded 4" and 6" | ☒ | ☐ |
| 7. The fields are seeded or mulched | ☒ | ☐ |
| 8. Berm in place (if needed) | ☒ | ☐ |

FINAL SYSTEM APPROVAL: YES 5-14-09 Head Pressure only Don OS 8626

IV. REMARKS: SPSD Pump to be left open / First time trench appeared only

SPSD Pump installed 5-14-09
Don
OS 8626
5/33 installers instead of 3/50
5-13-09
525 Box 7R





Williamson County and Cities Health District

Georgetown Clinic
100 3rd Street
Georgetown, TX 78626
(512) 943-3640

Authorization To Construct Permit #: 2009-43

m - 3/19/09

Location: 22300 FM 971, Granger TX 76530

Permit Date: 3/18/09

Block: Lot:

Owner: NEWSOM, JOHNNY S. & KATHERINE A.

Mailing address: 22300 FM 971 Granger TX 76530

To Whom It May Concern:

The Williamson County & Cities Health District (WCCHD) received the design submittal for the above-mentioned On-Site Sewage Facility (OSSF). The design appears to meet the minimum requirements of the WCCHD. Authorization to construct has hereby been granted.

Contact the WCCHD and designer for required inspections. An appropriately licensed installer is required to install the system.

The approval of this OSSF design does not allow for the inclusion of discharge from water softeners. See 30 TAC 285.37. Consult with your OSSF designer if such discharge is to take place.

Any changes in the above design must have written approval by the engineer prior to construction. The written specifications of such changes along with an "as built" drawing must be furnished to WCCHD for evaluation. If required, the license to operate the system will not be issued until all needed documentation is received from the designing engineer.

The OSSF construction must meet all Texas Commission on Environmental Quality and WCCHD standards. If unforeseen conditions are encountered this design is void. Stop construction immediately and contact our office to receive instructions on how to proceed. This would include: any encroaching well easements, encountered recharge features, excessive rock, solid rock, seepage or seasonal groundwater.

If you should have any questions regarding this matter, please feel free to contact me at this office.

Sincerely,

WCCHD, Environmental Services

Copy Designer: Jason Clark, AS

This OSSF is designed to treat and dispose of up to 360 gallons per day. Run-off may need to be controlled and diverted away from the OSSF. (i.e., gutters, berms, etc.)

PAUL T. WALTER, OS 8032

Agency Official

3-18-09

Date

3/18/09 03:34 PM Page 1

WCCHD CHECK LIST FOR PROFESSIONAL DESIGNS - ON SITE SEWAGE FACILITIES

DATE: 2-24-09 OWNER: Johnny & Katherine Newson OSSF #: 09-43
 LOCATION: 22300 FM 971 Granger (~~50.00 AC~~) (5.00 AC)
 DESIGNER: Jason Clark, RES SITE EVALUATOR: Jason Clark, RES
 Commercial?: No
 Type of System: LPD Bedrooms on Permit: 4 Sq Ft: 4200
 Wastewater Design Flow (Gal/Day): 360 Bedrooms on Design: 4 Sq Ft: 4200
 Soil/Surface Application Rate: 0.1 Equivalent Bedrooms: 5

SITE EVALUATION (Most restrictive conditions)

Class of Native Soil: IV SLR required: Not complete
 Restrictive layers (Rock, Clay, etc.): ↑ → Depth: 48" bottom Flood Plain addressed: Exempt
 Evidence of Groundwater: No → Depth: - EARZ Addressed: Yes (Not in)
 NOT APPROVED by Field Inspector: - APPROVED by Field Inspector: DEM 2-24-09

TREATMENT PROCESS

Septic / Trash Tank (gallons): 1250(210) Pump Tank (gallons): 750(110)

DISPOSAL PROCESS

Drain Field (Linear Feet): 720 total (360 per zone) Drain Field (Square Feet): 3600 total
 Depth Min/Max (inches): 12 / 20 Width Min/Max (inches): 36 / 36
 Diversion Valve: K-Rain 6402 (2 zones) 2-Pressure Valve: Bull
 Gravel Size & Depth: 3/4-2" + 12" min Backfill Class/Height above grade: II / 4-6" min

DOSING & DISTRIBUTION

Dosing Rate (gal/minute): ~34 Dosing Volume (gallons): ~1104
 Reserve capacity in pump tank (gal): 374 Head Pressure: 2'
 Check Valve: - Syphon Hole: Yes (1/8")

EQUIPMENT SPECIFICATIONS

High Water Alarm: addressed/shown Audible: Yes Visual: Yes
 Pump Size (hp) / Model: 1/2 hp Burnes SP50 Pump on separate circuit from alarm? Yes
 Filtration / Model: -

CONSTRUCTION PLAN (SITE PLAN/CROSS SECTIONS)

Contour lines/slope - esp. in disposal area: 3-4% Well locations shown: N/A Water line shown: Yes
 Profile Holes shown and near drain field: Yes Property lines shown: Yes Setbacks shown/stated: Yes
 Float settings (inches & gal) in pump tank: shown Cross section of tanks: Yes Cross Sections Labeled: OK
 Landscape/Vegetation Notes: seed, mulch or sod - Bern, as shown

CONTRACTURAL / ADMINISTRATIVE

Signed/Sealed/Dated by designer: Yes Fees Due: Yes NO

Supply Line Diameter (inches): 2.00
 Lateral Diameter (inches): 1.00
 Hole Size (inches): 5/32
 Hole Spacing: Varies
 Pipe separation: 6" O.C.
 Minimum Dosing Volume met: Yes

Trench	Length	# Holes	Trench	Length	# Holes
1A	90'	21	1B	90'	21
2A		20	2B		20
3A		19	3B		19
4A		18	4B		18

ADDITIONAL NOTES:

DESIGN APPROVED:

YES
 OK PPN
 3-18-09

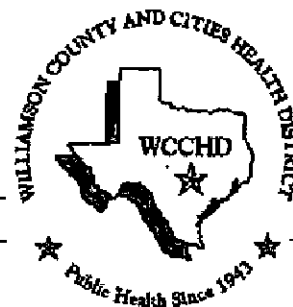
~~400.00 fee for engineer design permit PD 3-13-09 (rec'd # 04-1887)~~
 See letter 3-18-09 PPN
 See 2nd letter OK 3-18-09 PPN

David L. Walth 2-26-09
 05 8072 Inspector / Date

2009-43

your public health department

Paulo Pinto, Director of Environmental Services



To: General Public
Re: OSSF Requirements for Single Lot Subdivisions
From: Environmental Services

Lots that have not been "legally" subdivided or have not completed an Environmental Review must submit information regarding site suitability for on-site sewage facilities as required by the Texas Natural Resource Conservation Commission (TNRCC). OSSF permits will not be granted unless the following information has been submitted to this office.

- OK ☐ Provide a copy of a professional survey of the property that addresses floodplain and square footage of lot. All existing structures with water & electric service must be shown on the survey or OSSF design.
- OK ☐ Provide a map to property in relationship to major roads.

A qualified Site Evaluator can generally provide the additional items mentioned below.

- OK ☐ Indicate if property is or is not located within the Edwards Aquifer Recharge Zone.
- OK ☐ Provide a drainage plan. This report must include how drainage patterns will or will not affect the proper function of the OSSF. This report must show any drainage improvements needed to ensure that the lot would have positive drainage, meaning that water will not pool on lot. The report must state if positive drainage already exists.
- OK ☐ Indicate if the lot is served by private wells, public wells, or a public water supply. A minimum of 1 acre of surface area is required for each house if served by public water. A minimum of 2 acres of surface area is required per residence if served by private well.
- OK ☐ If lot is to be served by a water company, then a letter will be needed from the Water Company stating that they have the capability and capacity to serve water to said lot.
- N/A ☐ If lot is to be served by wells, the well locations must be located on the survey with the required 100-foot sanitary easement labeled. Wells must be located 50 feet from all property lines. If the sanitary easement encroaches neighboring properties, a letter of easement acceptance is required from affected property owner.
- OK ☐ Provide a topographic map or state direction and percentage of slope on the lot. Additional topographic information may be required depending on the nature of the lot and system location.
- OK ☐ A subsoil and groundwater report must be submitted that indicates the depth and type of soils, depth to rock or other restrictive layers, depth to groundwater or evidence of groundwater (mottling). Two test holes are required for the installation of septic system. These holes are to be a depth of at least 5 feet and must be left uncovered for Williamson County inspectors to evaluate.
- OK ☐ Provide a report detailing the types of OSSF to be considered for this lot.
- OK-N/A ☐ Indicate 75-foot setbacks from creeks, lakes, drainage-ways, and drainage easements. Indicate 25-foot setbacks from breaks in grade. Indicate 150-foot setbacks from recharge features.

Once all required criteria have been submitted to this office, the design can be reviewed for approval. If you have any questions concerning this matter, please contact this office.

COMPLETE
3-18-09 PTW 05 8032

09-43

Received Time Mar. 18. 2009 8:10AM No. 5649

**BELL-MILAM-FALLS WATER SUPPLY CORPORATION
PO DRAWER 150
CAMERON, TX 76520
(254) 697-4016**

March 18, 2009

Re: Shawn Newsom
Account #1615

To Whom It May Concern:

Shawn Newsom has been a customer on Bell-Milam-Falls WSC since October 1996.

The past 12 months he has paid his water bill by the required time and has never been disconnected.

Sincerely,

Bell-Milam-Falls WSC
Management

RECEIVED

MAR 18 2009

WCCHD-ENV

James K. Morgan, MD, MPH, WCCHD Executive Director/Local Health Authority
Paulo Pinto, Director of Environmental Services



March 16, 2009

M = 3-17-09

Johnny & Katherine Newsom
22300 FM 971
Granger, TX 76530

RE: PROFESSIONAL DESIGN FOR 2230 FM 971, MIGUEL DAVILA SURVEY ABST. NO. 4, 50.86 ACRES, GRANGER, TX, OSSF# 2009-43

Mr. & Mrs. Newsom:

On March 10, 2009, the Williamson County & Cities Health District received a revision submittal for On Site Sewage Facility (OSSF) application # 2009-43 from Jason Clark, R.S. The design is still not approved and authorization to construct cannot be given at this time for the following reasons:

- JK PW
3-16-09
- ✓ After speaking to the owner and reviewing the survey / site plan submitted by the designer, it appears that this property has been subdivided. The owner needs to take the survey and deed(s) to the county engineer's office to determine if any access and subdivision requirements need to be met or to document your exemption from them. If exempted, the owner will need to update the permit application and provide a new legal description for new lot.
 - ✓ Based on the determination from the county engineer, a Single Lot Review (SLR) may need to be completed with permit application. If a SLR is required, there will be an additional \$80.00 fee due for this review. One item on the review that will be needed, if the SLR is required, is a service commitment letter from the company that is serving water to this property. All other items required on the SLR have already been address in the site evaluation and design.
- 2013-17-09
(2013-01-27)
09-2666

Once all required criteria have been submitted to this office, authorization to construct will be granted. If you have any questions concerning this matter, please contact this office.

Sincerely,

Paul T. Walter

Paul T. Walter, OS 8032
Environmental Services

C: Jason Clark, R.S.

3/17/09 Spoke w Joe England. He is ok with 5 ACRE TRACT. HE IS WRITING A LETTER REGARDING THE BANK NOTE. Owner w. I need to revise ^{permit} to 5 ACRES (SA)

James K. Morgan, MD, MPH, WCCHD Executive Director/Local Health Authority
Paulo Pinto, Director of Environmental Services



February 27, 2009

m - 3/2/09

Johnny & Katherine Newsom
22300 FM 971
Granger, TX 76530

RE: PROFESSIONAL DESIGN FOR 2230 FM 971, MIGUEL DAVILA SURVEY ABST. NO. 4, ~~50-86~~
ACRES, GRANGER, TX, OSSF# 2009-43

*5.00
3-18-09 PTW*

Mr. & Mrs. Newsom:

On February 24, 2009, the Williamson County & Cities Health District received a design submittal for On Site Sewage Facility (OSSF) application # 2009-43 from Jason Clark, R.S. The design is not approved and authorization to construct cannot be given at this time for the following reasons:

- OK PTW 3-16-09*
- pd 3-13-09 (permit 04-1889)*
✓ An additional \$100.00 is due for this design. As of October 1, 2008, the permit purchase price for an engineer-designed system is \$435.00. \$335.00 has been received to date.
 - ✓ Please provide a site plan that shows all of the property lines, the location of the house(s), the septic system(s), and any other important features on the lot. We have a survey of the property in our file if you need a copy.
 - Run-off from rain may need to be controlled and diverted away from the septic system. (i.e., gutters, berms, etc.)

Once all required criteria have been submitted to this office, authorization to construct will be granted. If you have any questions concerning this matter, please contact this office.

Sincerely,

Paul T. Walter

Paul T. Walter, OS 8032
Environmental Services

C: Jason Clark, R.S.

See 2nd letter



February 25, 2009

THIS IS NOT AN AUTHORIZATION TO CONSTRUCT

Johnny & Katherine Newsom
22300 F.M. 971
Granger, TX. 76530

(OSSF) ON-SITE SEWAGE FACILITY PERMIT # 2009-43 @ 22300 F.M. 971, Granger, TX, 76530

Site Evaluator: Jason Clark, SE 10849

SE received (date): February 20, 2009

To Whom It May Concern:

A site evaluation was received for this OSSF APPLICATION. The site evaluation **IS** approved
Please submit the following:

Soil Analysis

- ☐ Profile holes must be in area of OSSF field
- ☐ Holes at least 2' deeper than the proposed drain field
- ☐ State horizon depths in inches
- ☐ Provide gravel analysis
- ☐ Provide textural class of soil for each horizon
- ☐ Provide coloration for each horizon

Vegetation

- ☐ Note what kinds of vegetation exist in the area of the drain field

Flood Hazard

- ☐ Indicate if OSSF is in Flood Plain or Flood Way
- ☐ Show Flood Plain or Flood Way on site diagram

Topography

- ☐ Indicate slope and direction or contours
- ☐ Show drainage ways, easements, creeks, ponds, etc...
- ☐ Show breaks in grade
- ☐ Note surface pooling

Edwards Aquifer Recharge Zone (EARZ)

- ☐ Indicate if site is in the EARZ
- ☐ Certify that no EARZ recharge features are within 150' of the OSSF

Groundwater

- ☐ State whether or not there is EVIDENCE of groundwater and at what depth in inches. Evidence includes streaking, mottling, redox features, etc...
- ☐ If water is present, state the depth in inches and whether the water is clear or muddy

Further comments & Notes: The site evaluation is approved and the design has been forwarded to Paul Walter of the design review staff on 02/25/09.

If you have any questions concerning this matter, please contact this office (512) 943-3620.

Sincerely,

(Signed)

Douglas Earl McPeters, OS8626

(Printed)

OS 8626

Copy to: Jason Clark

SITE EVALUATION VERIFICATION SHEET

THE PROPERTY OWNER IS RESPONSIBLE FOR THE FINAL OSSF DESIGN. DESIGNS MUST MEET MINIMUM REQUIREMENTS. THE PROPER PERFORMANCE OF AN ON-SITE SEWAGE FACILITY CANNOT BE GUARANTEED. PROPERTY OWNERS ARE ENCOURAGED TO OBTAIN A DESIGN FROM A PROFESSIONAL DESIGNER. PROPER LANDSCAPE AND DRAINAGE DIVERSION IS THE RESPONSIBILITY OF THE OWNER.

TYPE OF OSSF ALLOWED (Based on Approved Site Evaluation):

_____ Absorption beds/trenches *

or _____ Evapotranspiration beds *

or _____ Alternative System needed. Contact a Professional Engineer or Registered Sanitarian.

*(Standard absorption beds or ET beds may be designed by an Engineer, Sanitarian, Installer II or the homeowner.)

MINIMUM SETBACK DISTANCES: TANK – 5 ft. from house, 5 ft. from property line, 50 ft. from water well. FIELD – 5 ft. from house, 5 ft. from property line, 100 ft. from water well, 10 ft. from water line, 75 ft. from body of water.

OTHER: _____

ALL VARIANCE REQUESTS MUST BE APPROVED PRIOR TO INSPECTION.

PIPE & GRAVEL: Tank connected to house and valve; cleanout between structure and tank; fittings in place; full of clean water to flow line. Schedule 40 equivalent, 1/8" per foot fall from house to tank; 1" per 100' from tank to valve. Filter required at outlet; cleanout between tank & valve within 1' of tank outlet. Fields/trenches excavated, level, 12" lower than tank flow line; 18"-36" deep. Gravel & pipe in place; voids left for inspection. Distribution pipes must be level with 6" of gravel below pipes. Total gravel required is 12". Monitor wells at far ends of fields. Filter fabric, all sand & sandy loam **MUST** be on site.

LANDSCAPE INSPECTION: Properly backfilled with sand & sandy loam. Area over fields/trenches **MUST** be mounded 4" or more. Grass must be planted over this area.

EVALUATION OF PROFILE HOLE #1

DEPTH	SOIL DESCRIPTION
10"	Dark Brown silty clay IR
20"	
30"	Lt. Brown silty clay IR
40"	
50"	Bottom
60"	
70"	

EVALUATION OF PROFILE HOLE #2

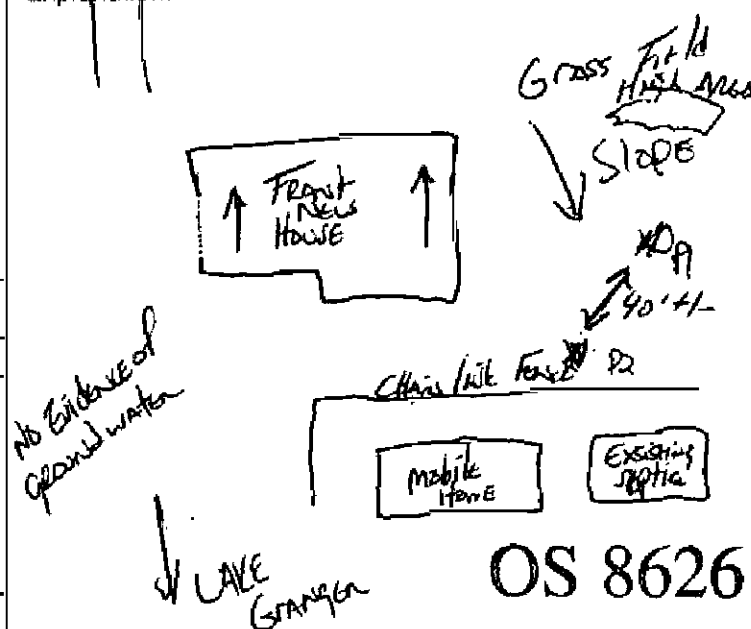
DEPTH	SOIL DESCRIPTION
10"	Brown silty clay IR
20"	
30"	
40"	
50"	Bottom
60"	
70"	

WCCHD/OS

APPROVAL OF SITE EVALUATION: YES NO

(IF YES, PLEASE SUBMIT DESIGN ACCORDING TO TYPE OF OSSF ALLOWED) F.M. 971

Explanation:



NO CONSTRUCTION MAY BEGIN UNTIL A DESIGN IS APPROVED BY THE WCCHD. IF GROUNDWATER IS ENCOUNTERED, STOP CONSTRUCTION AND CONTACT OUR OFFICE.

INSPECTOR D. Tom

DATE

2-24-09

SE

SITE EVALUATION

Date: 2-19-09

OSSF # 2009-43

LOCATION OF PROPERTY

22300 FM 971
Granger, TX

Unincorporated Area? yes

PERFORMED BY

Jason Clark, R.S.
SE 10849
P.O. Box 32
Thrall, TX 76578
(512) 856-2933

INSTALLER INFO.

Unknown

GATE CODE 8646

RECEIVED
FEB 20 2009
WCCHD-ENV

Date Performed: 2-19-09

Profile Hole #1

Depth	Class	Structure	Mottling/ groundwater	Restrictive Horizon	Observations
0-48"	IV	Massive	No evidence	None observed	Drk. brn. / black clay

Profile Hole #2

Depth	Class	Structure	Mottling/ groundwater	Restrictive Horizon	Observations
0-48"	IV	Massive	No evidence	None observed	Drk. brn. / black clay

Proposed Excavation Depth: 1pd

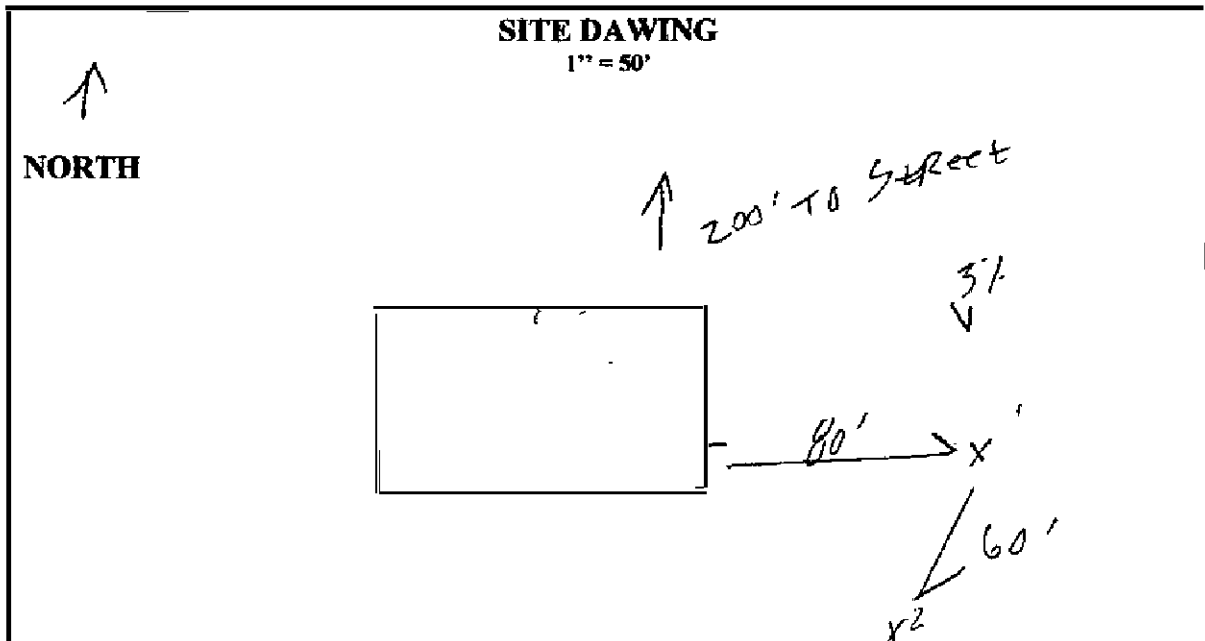
Features of Site Area:

- 100 year flood zone = no
- upper water shed = no
- ponds, streams, water impoundments = no
- existing or proposed well in area = no
- organized sewage service available to lot = no
- EARZ features within 150' of proposed OSSF = no
- Evidence of groundwater = no

RECEIVED
FEB 20 2009
WCCHD-ENV

Based on this site evaluation, the following systems may be utilized:

- Conventional = no
- Drip = yes
- ET = yes
- Graveless = no
- Leaching chamber = no
- LPD = yes
- Mound = yes
- Soil substitution = no
- Spray = yes



I certify that the findings of this report are based on my field observations and are accurate to the best of my ability:

Jason Clark, R.S.
SE 10849
Signature:



Williamson County and Cities Health District

Environmental Health Services
303 Main Street
Georgetown, 78626
(512) 943-3620

WCCHD OSSF Application Conventional

Permit #: 2009-43

pd. \$ 335.00

Location: 22300 FM 971, Granger TX 76530

Block: Lot:

Owner: NEWSOM, JOHNNY S. & KATHERINE A.

Mailing address 22300 FM 971 Granger TX 76530

Permit application only. Application does not guarantee that a permit to operate an On-Site Sewage Facility (OSSF) will be granted. The WCCHD recommends that construction of the home/structure begin only after receipt of a Permit To Construct an OSSF. To prevent additional fees the application identification tag must be posted at all times of construction. The WCCHD will issue a Permit to Construct the OSSF after receipt and review of all required planning material. A notice of approval to operate the system will be issued after the WCCHD has completed required inspections as requested by a licensed installer.

APPLICATION FOR A LICENSE TO OPERATE AN ON-SITE SEWAGE FACILITY

VALID FOR ONE YEAR FROM DATE OF APPLICATION

Warning:

The flood hazard boundary maps and other flood data used by the County and Williamson County and Cities Health District (WCCHD) in evaluating flood hazards for proposed developments are considered reasonable and accurate for regulatory purposes. Flood Plain determinations are based solely on the property owner's indication of the proposed home-site/ structure. On occasion greater floods can and will occur and flood heights may be increased by man-made and natural causes. The County cannot guarantee the property will not flood. Exempting the property owner from the Flood Plain Management Regulations does not create any liability on the part of the county or the WCCHD or any officer or employee of the County or the WCCHD in the event that flooding and/or flood damage does occur. Ultimate responsibility of locating the home/structure outside of the flood plain rests with the property owner. The WCCHD recommends that the property owner contact a surveyor prior to construction for precise flood plain determination.

Signature

Date: 2-18-09

I acknowledge the above warning. I certify I am the property owner / designated agent, and the above statements and the site profile information are true and correct. I understand that I must follow the steps set forth and/or compliance schedules in order to have an OSSF installed or repaired. The property must be accessible (no locked gates) for inspection at all times. Fees will be due to reschedule inspections.

DAHLIA MARTINEZ

Agency Official

2/18/09

Date

2/18/09 01:56 PM Page 1

SITE PROFILE

Page 1
2/18/09

OSSF Permit #: 2009-43

TYPES OF PERMITS: ☒ OSSF permit ☒ Development permit

PROPERTY ADDRESS: 22300 FM 971, Granger TX 76530

NAME OF OWNER: JOHNNY S. & KATHERINE A. NEWSOM

MAILING ADDRESS: 22300 FM 971 Granger TX 76530

Work Phone:

Cell: (512) 585-1312

Home Phone:

Fax:

Septic Type:

Reason: New

4200

Sq Ft

4 Bedrooms

Purchased: 2/18/09

Revision:

License Date:

Plans:

Final Inspection:

Printed:

Field: 0

Authorization:

Approved By:

Installed:

Other Information:



Rainwater Collection



City limits



Public Sewer



ETJ



Well



Water saving fixtures



Public Water



Recharge zone



Meter / Timer Required

WaterSupply Company:

Williamson County

Record Set:

Volume:

Page:

Precinct/Zone:

Lot/Tract:

Block:

Lot size: 50.86AC

Grid/Section:

Affidavit File Date:

Survey:

Subdivision:

Reference:

Evaluator's Information:

Site Evaluator:

Type of soil:

Soil Date:

0 GPD

System Information:

Manufacturer:

Distributor:

Designer:

Installer:

Treatment Type:

Disinfectant:

Flood Plain Permit:

Disposal:

Drainfield: 0 x 0 x 0 - 0

Flood Plain Status:

Brand / Model

Serial Number

Date

Flood Plain Date:

System:

Aerator:

Discharge:

Flood Plain Certificate:

Flood Plain Complete:

Expiration Date:

PCV survey
received 2-19-09
from owner

~~Pending~~ EXEMPT

UPDATED IN SAFE

2-27-09 p.m.

Service and Maintenance Information

Service Provider:

Date Maintenance Contract Started:

Insp./year: 2

Date Maintenance Contract Expires:

Location of System:

GPS Latitude: N

GPS Longitude: W

Map Code:

Legal Description:

MIGUEL DAVLIA SURVEY, ABS NO. 4

SITE PROFILE

Page 1

3/17/09

OSSF Permit #: 2009-43

TYPES OF PERMITS: ☒ OSSF permit ☒ Development permit**PROPERTY ADDRESS:** 22300 FM 971, Granger TX 76530**NAME OF OWNER:** JOHNNY S. & KATHERINE A. NEWSOM**MAILING ADDRESS:** 22300 FM 971 Granger TX 76530**Work Phone:****Cell:** (512) 585-1312**Home Phone:****Fax:****Septic Type:****Reason:** New

4200

Sq Ft

4 Bedrooms

Purchased: 2/18/09**Revision:****License Date:****Plans:****Final Inspection:****Printed:****Field:** 0**Authorization:****Approved By:****Installed:****Other Information:**☐ Rainwater Collection☐ City limits☐ Public Sewer☐ ETJ☐ Well☐ Water saving fixtures☒ Public Water☐ Recharge zone☐ Meter / Timer Required**WaterSupply Company:****Record Set:****Volume:****Page:****Lot/Tract:****Block:****Lot size:** 5.00AC**Affidavit File Date:****Survey:****Williamson County****Precinct/Zone:****Grid/Section:****Subdivision:****Reference:****Evaluator's Information:****Site Evaluator:****Type of soil:****Soil Date:**

0 GPD

System Information:

Manufacturer:**Distributor:****Designer:****Installer:****Treatment Type:****Disinfectant:****Flood Plain Permit:****Disposal:****Drainfield:** 0 x 0 x 0 - 0**Flood Plain Status:** Exempt**System:****Brand / Model****Serial Number****Date****Aerator:****Flood Plain Date:****Flood Plain Certificate:****Flood Plain Complete:****Discharge:****Expiration Date:**

Service and Maintenance Information

Service Provider:**Date Maintenance Contract Started:****Insp./year:** 2**Date Maintenance Contract Expires:****Location of System:****GPS Latitude:** N**GPS Longitude:** W**Map Code:****Legal Description:**

MIGUEL DAVLIA SURVEY, ABS NO. 4

**Joe M. England, P.E.
County Engineer**



3151 SE Inner Loop, Suite B
Georgetown, Texas 78626
Telephone (512) 943-3336
Fax (512) 943-3335

**Williamson County
Unified Road System**

March 17, 2009

**Re: 50.86 acre out of the Miguel Davila survey abstract No. 4, in Williamson County, Texas
(Aka 22300 FM 971)**

To whom it may concern,

In reviewing the Johnny S. and Katherine A. Newsom property, I find this tract is exempt from platting under the Williamson County A-11 partial financing exception which states a plat is not required when a smaller tract is surveyed out of the parent tract solely for the purpose of obtaining financing for purchase or improvement of that part of the property, provided that possession and primary beneficial ownership of the entire parent tract are intended to remain unified, and provided that each tract has (50) fifty feet of frontage on a public road. While the survey shows Tract 1 (3.00 acres) and Tract 2 (2.00 acres), the bank document shows the lien against both tracts, therefore making the lien for a 5.00 acre tract.

Although this property is exempt from platting regulations, the property must apply to the County and Cities Health District for on-site sewage facility (OSSF) and comply with their regulations.

The County and Cities Health District have separate regulations regarding division of land and permitting of an onsite sewage facility.

Sincerely,


Joe M. England

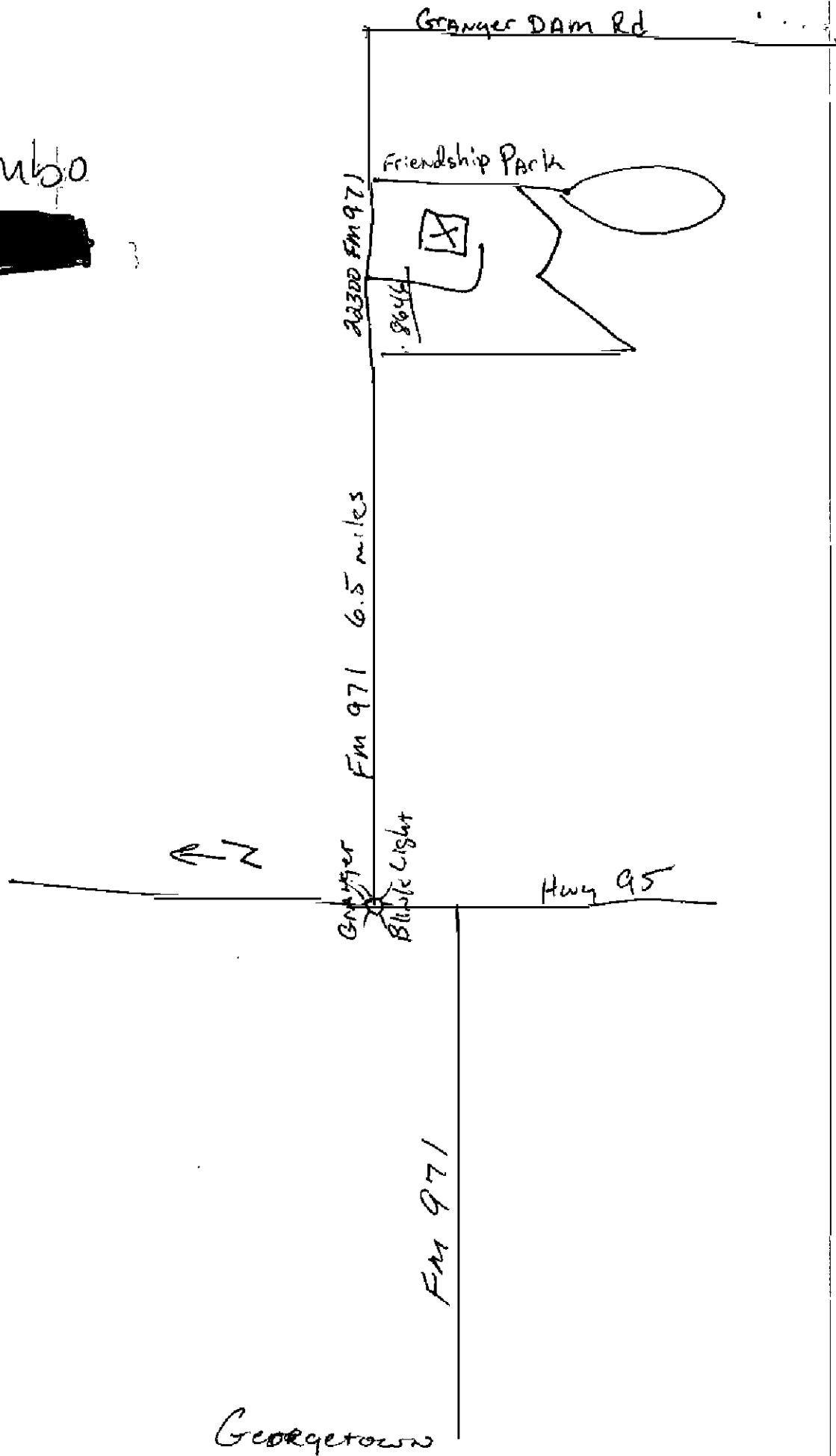
Attachment

RECEIVED

MAR 17 2009

WCCHD-ENV

Combo



RECEIVED
FEB 18 2009
WCCHD-ENV

Williamson County & Cities Health District Environmental Services Customer Service Annual Survey

Thank you for taking the time to complete this brief survey. We want to know how we are doing and whether we are meeting your needs. Your responses will help us to evaluate our programs and improve the service we provide. You do not need to identify yourself, but please write or print your name and telephone number clearly if you would like a response.

Sincerely,

Paula P. Auto, R.S.

Director, Environmental Services Division

(512) 943-3620

Score the following on a scale of 0 to 100 (0=59=F, 60-69=D, 70-79=C, 80-89=B, 90+=A)

Which permitting program are you evaluating?

- ☐ OSSF ☐ Floodplain ☐ Subdivision ☐ Food

How do you rate the quality of your experience with these parts of the permitting process so far? (Please leave blank or mark N/A if not applicable.)

• Timeliness of this office's response to getting a design or application approved

0-100

• Ease of understanding the instructions

0-100

• Ease of filling in the form(s)

0-100

• Ease of scheduling an inspection

0-100

• Helpfulness of this office's staff

0-100

• Prompt return of your phone calls / requests for information

0-100

And how would you rate your overall experience with the permitting process so far?

0-100

Comments and Suggestions

Would you like to be contacted?

- ☐ Yes ☐ No

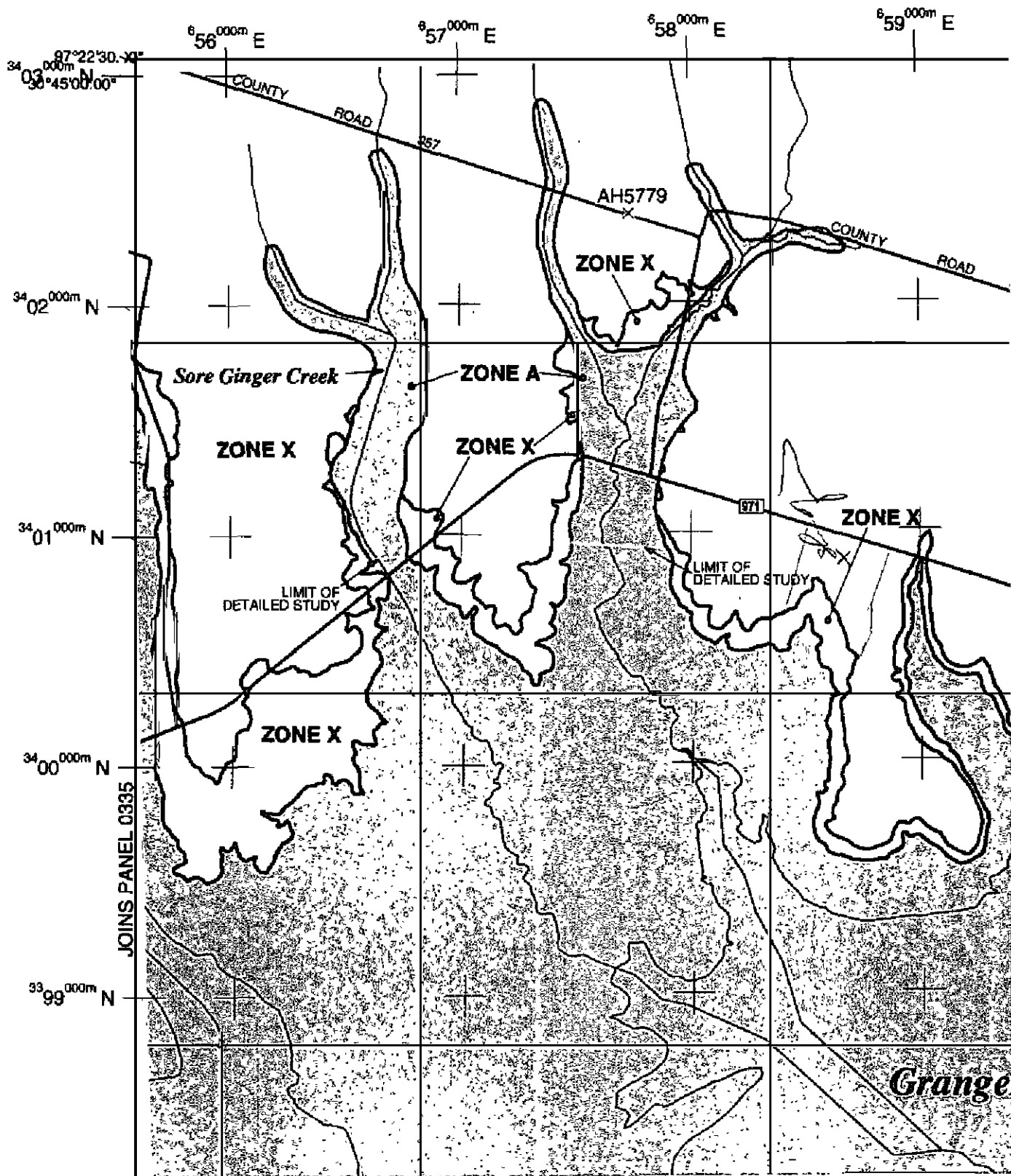
Name:

(optional)

Phone/E-mail:

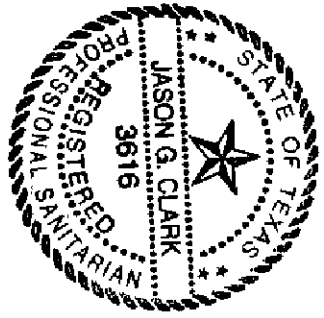
(optional)

PANEL # 375 of 750 (1"=2000')

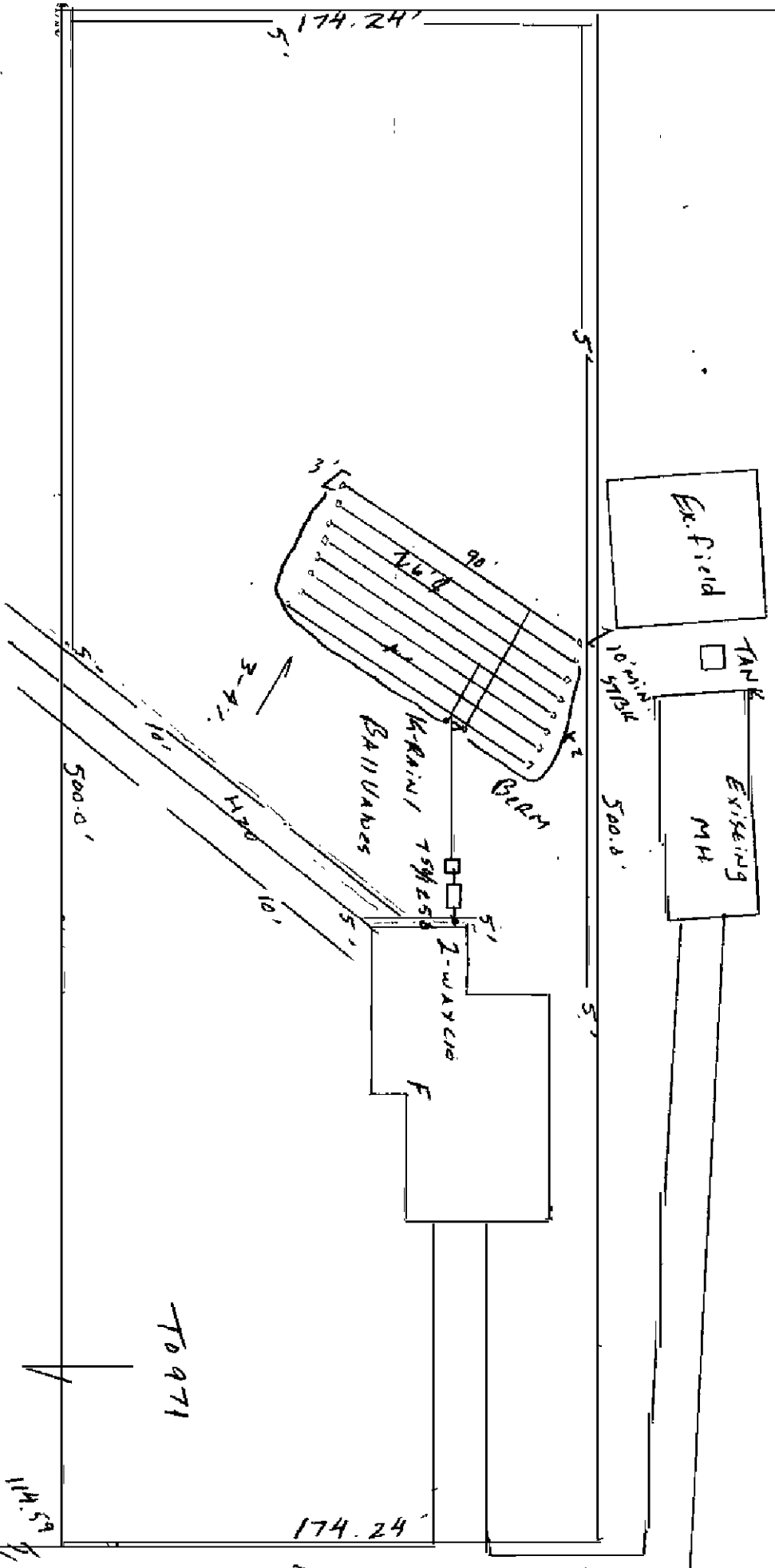


1:50'
09-43

Attn. Paul W.



RECEIVED
MAR 10 2009
WCCHD-ENV



NOTE:
THIS LOT IS SUBJECT TO BLANKET TYPE (OVERFLOW FLLOR & SUBMERGE) EASEMENT RECORDED IN VOLUME 591, PAGE 177, DEED RECORDS WILLIAMSON COUNTY, TEXAS.

NOTE:
THIS LOT IS SUBJECT TO BLANKET TYPE (DRAINAGE DITCH) EASEMENT RECORDED IN VOLUME 591, PAGE 183, DEED RECORDS WILLIAMSON COUNTY, TEXAS.

NOTE:
THIS LOT IS SUBJECT TO BLANKET TYPE (R.O.W.) EASEMENT RECORDED IN VOLUME 591, PAGE 189, VOL. 845, PG. 284, VOL. 846, PG. 337 DEED RECORDS WILLIAMSON COUNTY, TEXAS.

NOTE:
THIS LOT IS SUBJECT TO BLANKET TYPE (ELEC TRANSMISSION & DISTRIBUTION LINE) EASEMENT RECORDED IN VOLUME 761, PAGE 682, DEED RECORDS WILLIAMSON COUNTY, TEXAS.

NOTE:
THIS LOT IS SUBJECT TO BLANKET TYPE (WATER LINES & APPURTENANCES) EASEMENT RECORDED IN VOLUME 646, PG. 519, NAD VOL. 835, PG. 227 DEED RECORDS VOL. 1414, PG. 717 AND DOC. NO. 9702017 OFFICIAL RECORDS WILLIAMSON COUNTY, TEXAS.

NOTE:
THIS LOT IS SUBJECT TO BLANKET TYPE (ELEC. UTILITY) EASEMENT RECORDED IN DOC. NO. 9825167 DEED RECORDS WILLIAMSON COUNTY, TEXAS.

RECEIVED

FEB 19 2009

WCCHD-ENV

C.M.

429.69'
429.69'
429.69'

FRIENDSHIP PARK
(S 18°22'21" W 429.69'
S 18°25'45" W 429.69'
S 02°34'15" E 254.51'

S 01°22'45" W 165.10'
S 16°09'30" W 41.41'
S 15°53'45" W 471.88'

S 06°35'30" W 206.66'

S 16°09'30" W 41.41'

FM 971

EDGE OF PAVING

REMAINDER OF 50.48 ACRES

EXISTING GRAVEL DRIVE

87120.0 SQ. FT.
2.00 ACRES
TRACT 2

EXISTING MOBIL HOUSE

130858.8 SQ. FT.
3.00 ACRES
TRACT 1

REMAINDER OF 50.48 ACRES

C.M.

SCALE: 1"=300'

REV: NOV. 14, 2008 SPLIT
NOV. 18, 2008 TRACT NO.

NOTE:
BEARINGS SHOWN HEREON ARE BASED ON DEED RECORD INDICATED BELOW. AND THE NORTH AND EAST CORNERS OF SAID 50.48 ACRE TRACT
N 71°33'37"W 1504.03' (1504.23')

THIS PLAT IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: DOCUMENT NO. 9833501 OFFICIAL RECORDS, AND VOL. 591, PG. 177, VOL. 591, PG. 183, VOL. 591, PG. 189, VOL. 845, PG. 284, VOL. 846, PG. 337, VOL. 848, PG. 519, AND VOL. 761, PG. 682, DEED RECORDS, AND VOL. 835, PG. 227, VOL. 1414, PG. 717, DOC. NO. 9702017, AND 9825167, 199933504, OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS.

PROPERTY ADDRESS
22300 FM 971

As scaled from FEMA's FLOOD INSURANCE RATE MAP, Community No. 48491C, Panel No. 0375F, Panel Dated 08-28-08 this tract is in Zone(s) X and IS NOT in a special flood hazard zone, as that term defined by FEMA. This flood zone identification is this surveyor's information which may or may not with the information of FEMA or state or local officials and which may not agree with the

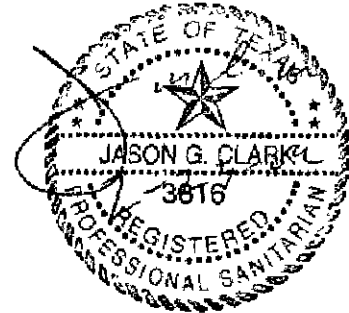
LOCATION OF PROPERTY:

22300 FM 971

Granger, TX

OSSF # 2009-43

**Submitted By:
Jason Clark, R.S.
P.O. Box 32
Thrall, TX 76578
512-966-6269**



SITE EVALUATION

- No part of this OSSF will be located within 10' of the water line.
- Positive drainage exists on this lot.
- This lot does not lie within the EARZ.

DESIGN CONCLUSION

Square Footage of House and Number of Bedrooms:	4 bedroom / 4,200 sq. ft.
Maximum Daily Discharge Rate:	360 GPD

Based on the results of the site evaluation, a low-pressure dose OSSF was selected for this site.

PROPOSED OSSF DESIGN LAYOUT AND FIGURES

- | | |
|-----------|--|
| Figure 1- | OSSF design layout at this particular site |
| Figure 2- | Cross section of the tanks to be used |
| Figure 3- | Cross section of the drainfield |

This OSSF will include these components:

**RECEIVED
FEB 24 2009
WCCHD-ENV**

- A two-way cleanout placed within three feet of the house and every 50 feet between the house and tank. 3 or 4" sch 40 pvc shall be used between the house and tanks and shall have a minimum fall of 1/8" per foot.
- A Buchanan 1250 gallon two-compartment septic tank, and a Buchanan 750 gallon pump tank. Tanks must have a minimum 5' setback from the foundation and be level within 1". They should be bedded with a minimum of 4" of washed sand. The tank must be backfilled with class II soil.
- **Approximately 60' of supply line (highest trench).**
- The drainfield will consist of 720' linear feet. These trenches shall be placed on six-foot centers.
- Two ball valves will be used to set head pressure. A K-rain 6402 automatic switching valve will be used to alternate the fields.

CALCULATIONS

- Maximum daily discharge rate: 360 GPD (Q)
- Soil application rate: 0.1 for class IV soil (Ra)
- Total absorptive area: A
- Total feet of lateral line: L

Total absorptive area (A) = $\frac{Q}{Ra}$ Therefore, $\frac{360}{0.1} = 3600$ square feet

Total feet of lateral line (L) = $A / (w+2)$
 $3600 / (3+2)$
 $3600 / 5$
L = 720'

As Designed: 720 linear feet / 3600 square feet

DRAINFIELD CRITERIA

- Lateral line: 1" schedule 40 PVC
- Head pressure: 2 feet of head at 0.87 psi
- Hole diameter: 5/32"
- Drainfield: two zones (720 linear feet Ttl)
- Elevation Difference (inches) across entire field = 9" per field

RECEIVED
 FEB 24 2009
 WCCHD-ENV

- Flow differential = 1.8 %

Field A

line #	line length	hole sp.	# of holes	hole diameter	gpm / hole	gpm / line
1	90 ft.	51"	21	5/32	0.41	8.61
2	90 ft.	54"	20	5/32	0.43	8.60
3	90 ft.	57"	19	5/32	0.45	8.55
4	90 ft.	60"	18	5/32	0.47	8.46
Total	360 ft.		78	5/32 in.		34.2

Field B

line #	line length	hole sp.	# of holes	hole diameter	gpm / hole	gpm / line
1	90 ft.	51"	21	5/32	0.41	8.61
2	90 ft.	54"	20	5/32	0.43	8.60
3	90 ft.	57"	19	5/32	0.45	8.55
4	90 ft.	60"	18	5/32	0.47	8.46
Total	360 ft.		78	5/32 in.		34.2

Inset (1st hole drilled from end of pipe)

51"-30"

54"-27"

57"-27"

60"-30"

STORAGE VOLUMES

SUPPLY LINE

9.72 GALLONS WITH 60 LINEAR FEET OF 2 INCH SCHEDULE 40 PVC
(HIGHEST TRENCH)

LATERAL LINE (per field)

4.1 GALLONS WITH 100 LINEAR FEET OF 1 INCH SCHEDULE 40 PVC

Til lateral pipe storage is 360' / 100' x 4.1 = 14.8 gal

DOSING VOLUMES

Minimum

$$V (\text{dose}) = 9.72 + 5 (14.8 \text{ Gal}) = 83.72 \text{ gallons}$$

As designed

360 gpd

Dosing volume as designed is 104 gallons (with pump float set at 17" on/ 12" off)

Therefore, 360 gallons / 104 gallons = 3.5 doses per day

RECEIVED

FEB 24 2009

WCCHD-ENV

Duration of each dose

104 gallons / 34.2 gpm = 3.0 minutes per dose

HEAD PRESSURE CALCULATIONS

Total Head: pump depth - elevation to field ends
4' - 1' = 3.0 elevation head
1.2 x 2.0 (pipe friction) = 2.4 friction head
K-Rain Valve = 7 ft.
Head Pressure Setting = + 2.0 pressure head
= 14.4 total head

Head pressure will be set with a two-foot riser pipe attached to the highest trench in each of the drainfields.

6" turn-ups at 90 degrees will be attached to each end of the trenches to aid in the future maintenance of this OSSF.

PUMP TO BE USED

A 1/2 hp Barnes SP50 will be used for this OSSF.

TANK DATA

A Buchanan 1250 gal two compartment septic tank, and a Buchanan 750 gal pump tank (or equivalent) will be used for this OSSF. A minimum of 360 gallons after the alarm on float will be achieved (1 days full reserve / 374.4 gallons actual @ 20.8 gallons per inch). A 1/8" siphon hole will be needed on this design for the supply line exiting the pump tank. Here are the alarm settings:

- Alarm on at 18" above the floor
- Start pump at 17" above the floor
- Stop pump at 12" above the floor

ALARM SYSTEM

An audio/visual high water alarm will be installed on this system at a highly visible location. The pump and the alarm will be wired on separate circuits.

TRENCH SPECIFICATIONS

- Depth: 12" TO 20"

RECEIVED

FEB 24 2009

WCCHD-ENV

- Width: 36"
- Trench bottoms should be level within 1 inch every 25' and within a maximum of 3" overall.
- Each dosing pipe shall be placed on at least 12" of uniform grade (washed gravel 0.75-2.0 inches), then covered with this uniform grade.
- The gravel will then be covered with a geotextile fabric.
- The entire field area is to be covered with a minimum of 4 to 6 inches of sandy loam.
- The field then must be seeded, mulched or sodded immediately after installation.
- Fields must be maintained at all times (mowed).

OSSF MAINTENANCE & LIMITATIONS

This OSSF design is intended to meet the minimum state requirements provided by TCEQ's 30 Administrative Code, Chapter 285- On-Site Sewage Facility Regulations. The homeowner should be aware that a septic system of limited capacity, will not tolerate prolonged abuse. The operational requirements listed below should be followed at all times:

Water saving devices shall be utilized throughout the life of this system. Never place a greater wastewater load on your system than prescribed by the rules and regulations as described within this report. (360 gpd)

Garbage disposals should be avoided. The use of garbage disposals could cause complete system failure.

Avoid the use of water softeners with an OSSF. They have been proven to have adverse effects on septic systems. They may also void all equipment warranties.

Do not dispose grease into the OSSF.

Do not dispose of any objects into the system other than toilet paper.

Do not add any treatment items to the system, such as, toilet tank chlorine tablets, yeast, enzymes etc.

Repair all leaky faucets and toilets immediately.

Rainfall runoff and surface water runoff must be diverted from the OSSF by the homeowner.

Do not operate heavy machinery over tanks, supply lines, and drainfield.

Maintain vegetation over the drainfield. Keep the vegetation over the drainfield mowed.

Perform routine checks on the system to ensure that the pump and alarm are operating.

Have your system evacuated every 1 to 3 years to prevent sludge buildup and to enhance your system's overall performance.

This design does not warranty any portion of this OSSF.

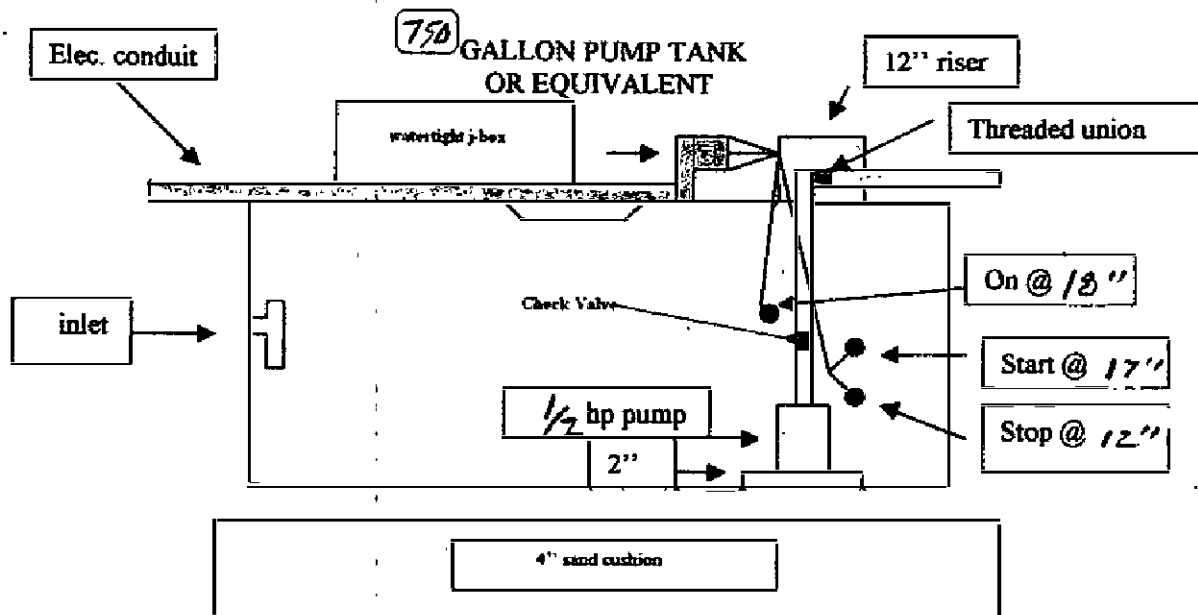
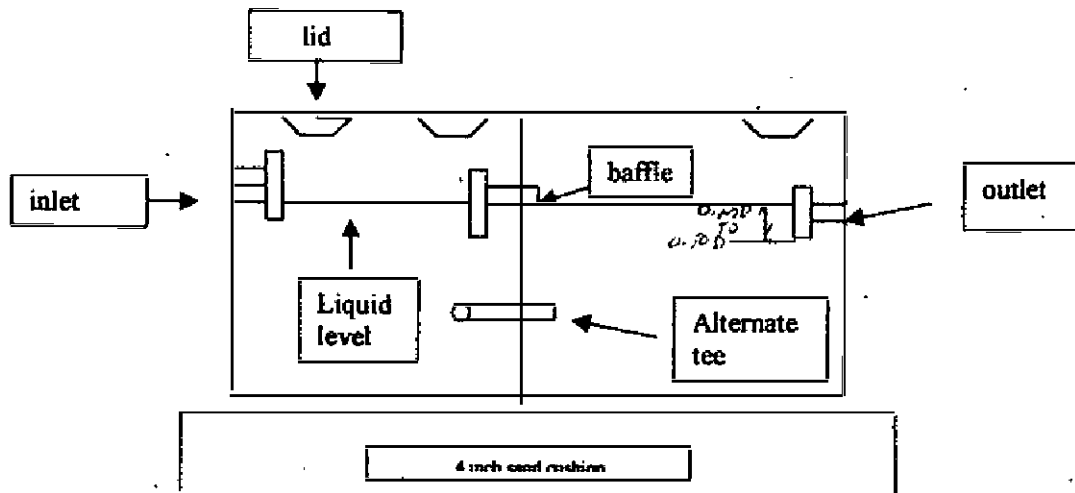
RECEIVED

FEB 24 2009

WCCHD-ENV

FIGURE 2

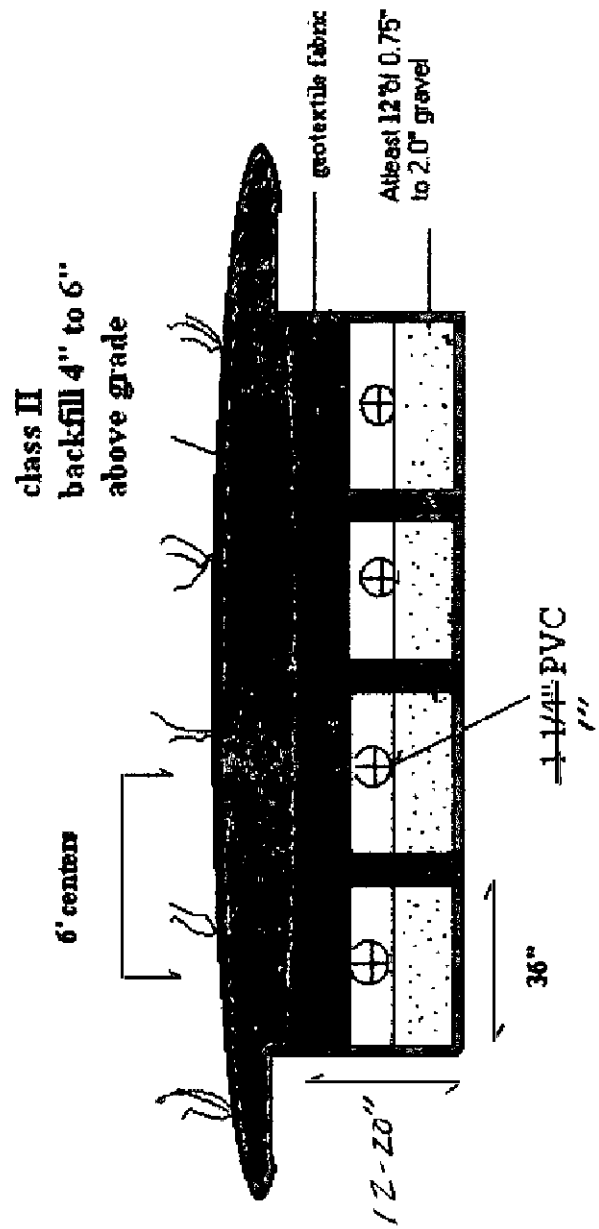
**1250 GALLON TWO-COMPARTMENT SEPTIC TANK
OR EQUIVALENT**



36" From Floor to Inlet
20.8 Gallons Per Inch

RECEIVED
FEB 24 2009
WCCHD-ENV

EXAMPLE LPD TRENCH CROSS SECTION



RECEIVED
FEB 24 2009
WCCHD-ENV