



The Eitel Group

KELLER WILLIAMS[®] REALTY
WWW.EITELGROUP.COM

**229 Wells Bnd
List of Upgrades**

1. Foundation Repair - 09/22 - Warranty attached.
2. New Flooring throughout whole home - Lowes - 05/24
3. New Center Island - 12/23
4. New High-end appliances (Range/Stove/Dishwasher/Microwave). 07/24
5. New AC - Daniels Plumbing - 02/2023 - 5 year warranty on pipe and installation.
6. New Roof - Linear Roofing - 06/25 -
7. New Interior Lighting - Mr Sparky - 08/24
8. New Sod in front - 07/25
9. Wired for surround sound (we painted over the wire holes, but the wires are there).



Austin
9715 Burnet Rd.
Bldg 7, Ste. 100
Austin, Texas 78758

Sales Order

1797515
07/15/2024
999417

Order No
Order Date
Customer
Contact Name
Contact Number
Contact Email

Invoice Address
ADAM PINA - COD
9715 BURNET RD, STE 100
AUSTIN, TX, 78758

Delivery Address
ADAM PINA - COD

229 Wells Bend
Hutto, TX, 78634

Job
Your Ref 229 Wells Bend
Delivery On 07/29/2024
Taken By Adam Pina
FBSR Referral #
Sales Rep ADAM PINA



Special Instructions			Notes			
INSTALLATION INCLUDES: DELIVERY UNINSTALL OLD UNITS SWAP UNITS INSTALL NEW UNITS HAUL OFF OLD UNITS LP TO BE CONVERTED BY JOEY INSTALL NEW UNITS HAUL OFF OLD UNITS						
Line	Product Code	Description	Qty	Price	Per	Total
1	PRG304WH	THERMADOR PRO-HARM 30" GAS RANGE 4 BRNR	1 ea	4,949.00	ea	4,949.00
2	PALPKITGA	THERMADOR LP KIT - PRO HARM GAS 30" & 36" RANGES 4 AND 6 BURNERS	1 ea	199.00	ea	199.00
3	DWHD640EFP	THERMADOR EMERALD 24" DISHWASHER TOP CONTROL BUILT IN, STAINLESS STEEL REPLACES DWHD560CFP	1 ea	1,399.00	ea	1,399.00
4	Thermador 1,2, Free Program	Thermador 1,2, Free Program				-1,399.00
5	INSTALLATION	Installation	1 ea	800.00	ea	800.00
6		INSTALLATION INCLUDES: DELIVERY UNINSTALL OLD UNITS SWAP UNITS LP TO BE CONVERTED BY JOEY INSTALL NEW UNITS HAUL OFF OLD UNITS				



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Page 2 of 2

Payment Method	Amount Received
Visa Austin	\$6,438.71
Merchant #	7292519
Account #	*****0401
Authorization #	07749D
Amount Outstanding	\$0.00

Subtotal	\$5,948.00
Sales Tax	\$490.71
Order Total	\$6,438.71

Terms & Conditions
SPECIAL ORDER AND NON-STOCKING ITEMS CANNOT BE RETURNED FOR CREDIT. A 25% RESTOCKING FEE WILL BE CHARGED TO ALL STOCK ITEMS RETURNED (IN UNOPENED CARTON ONLY). ALL SALES FINAL ON CLEARANCE ITEMS.

Signature _____
Date _____

LEVEL BEST FOUNDATION REPAIR INC

Certificate of Warranty

Lifetime Transferable Warranty (Slab)

Warranty: Upon completion of work and payment of contract price, Contractor warrants that foundation has been raised to as near as possible to level. Contractor warrants that the foundation will remain as near as possible to level, subject to the following limitations:

1. This warranty applies only to the section(s) of the foundation where work is performed. There exist no warranty of any kind or nature, expressed or implied, to any area not pried by Level Best.
2. This warranty will remain in effect for so long as Customer continues to own said property. Warranty is transferable and shall remain in effect for the life of the structure.
3. Should settlement occur during the period of this warranty, Contractor shall adjust and raise said settlement to as near as possible to level. There will be no charge for this service. Materials and labor are included in this warranty.
4. Contractor makes no warranty with respect to the following:
 - a. Settlement caused by acts of others such as fire or vandalism
 - b. Settlement caused by acts of God such as earthquakes, hurricanes and floods.
 - c. Settlement caused by leaking water or sewer lines that compromise the integrity of the soil under said structure.
 - d. The structure has been damaged, altered or modified.

Date: September 2008

Owner: _____

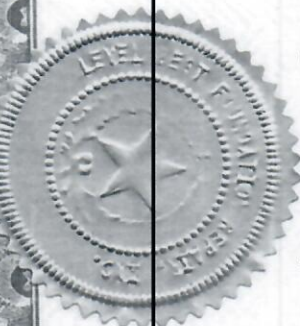
Signature: _____

Address: 299 Wells Bend
City, State, Zip: Hutto TX 78043

Level Best Foundation Repair Inc.

9806 Brown Lane

Austin, Texas 78754



Page Two Inspection Services
CONSULTING ENGINEERS, STRUCTURAL, MECHANICAL
315 Farrar Road, Waxahachie, Texas 75165
Tel: (972) 268-4140 Fax: (972) 935-0184

Foundation Inspection
Level Best Foundation Repair
Mr. Johnny Harvey
Tel: 512-832-6161
Email: tricia@levelbestaustin.com

November 29, 2022

Final Inspection:

Re: Structural foundation inspection of the house at **229 Wells Bend, Hutto, Texas 78634.**

Per your request, my representative or I have returned to the referenced property to conduct a final inspection of the work performed by **Level Best Foundation Repair**. The following are my on-site observations:

All specified **pressed concrete piers** were installed under the **slab on grade, one-story, brick veneer, fiber cement siding, single family residence**. At the time of the inspection, the work pertaining to the leveling and repairing of the foundation, and the backfilling of the soil along the perimeter of the house was complete. In my opinion, the work performed by **Level Best Foundation Repair** was satisfactory. All work meets or exceeds the intent of the **2021 IRC building code**.

Please recommend that the homeowner have the plumbing and the drains checked by a licensed/bonded plumber and have the results forwarded to the engineer. If the homeowner would like the floors closer to level, Ardex or a two-part, high strength, self-leveling epoxy can be used for fine leveling. Repair all interior and exterior cracks so they do not get worse.

I recommend the homeowner follow the enclosed Foundation Maintenance Program.

I am pleased to perform this inspection for you. Should you need further assistance in this matter, please do not hesitate to call.

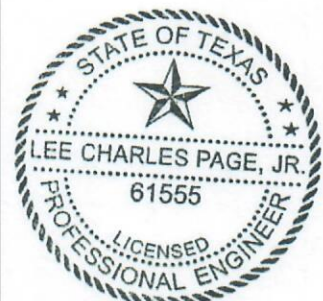
Disclaimer: This inspection consisted of visual observations only. The inspection excluded electrical, mechanical, architectural, framing, termites, wood destroying insects, wood rot, driveway, sidewalk, and all other detached structures. No performance warranty of any kind is expressed or implied. Due to the soil type in the area, the foundation may experience some movement/settlement in the future. The structure is in the condition consistent with a residential building of its age and one that has been subject to a measurable amount of foundation damage. If the local, city, county, state, federal, or any applicable code is more stringent than this report and sketch, then the code requirement overrules and takes precedent.

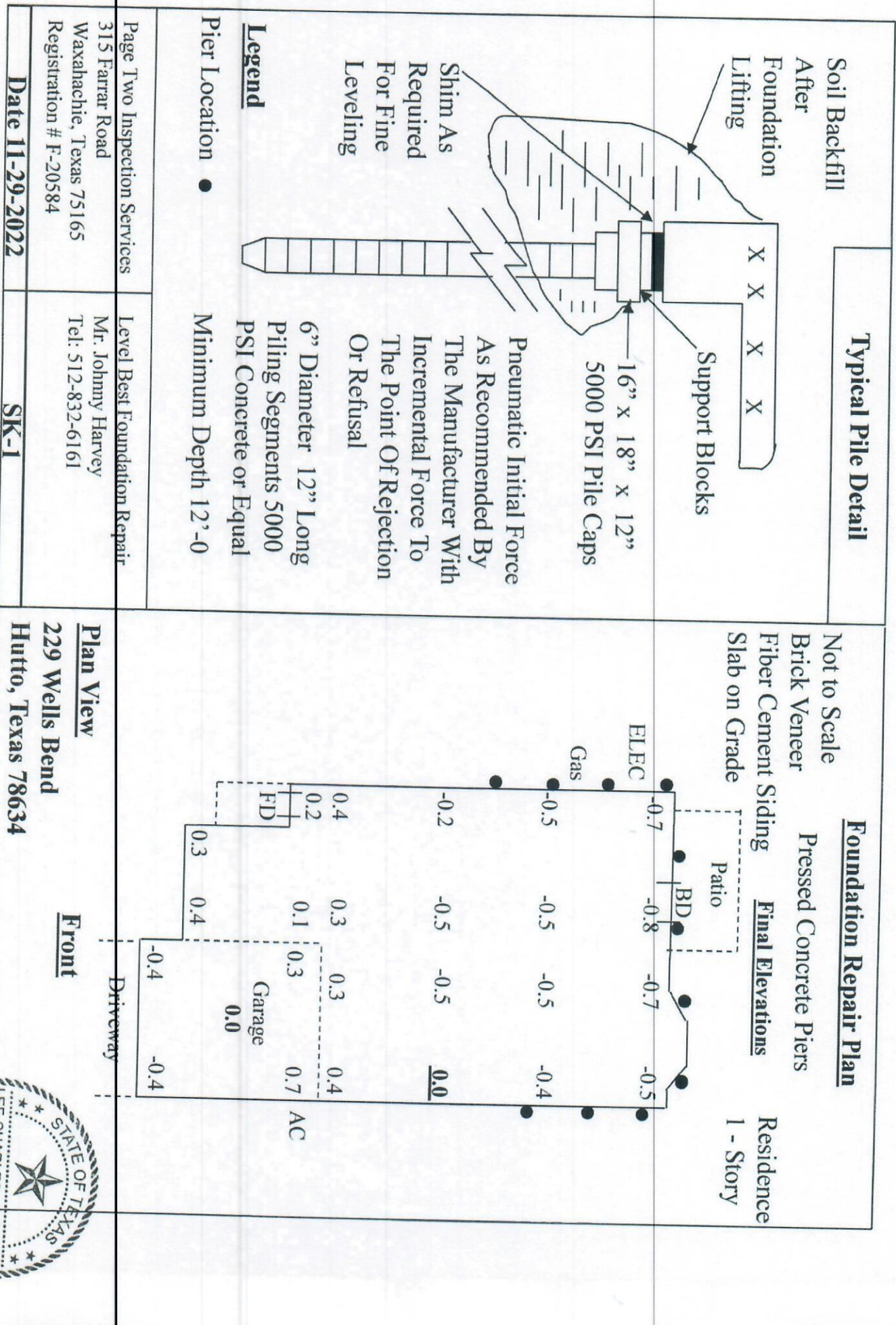
Limit of liability shall be the fee paid for this report.

Sincerely,



Lee Charles Page, P.E. #61555
Page Two Inspection Services #F-20584





Page Two Inspection Services
CONSULTING ENGINEERS, STRUCTURAL & MECHANICAL
315 Farrar Road, Waxahachie, Texas, 75165
Tel: (972) 268-4140 Fax: (972) 935-0184

Foundation Maintenance Program

Highly plastic clay soils, as are typically found in the Central Texas area, exhibit a great amount of expansion and contraction caused by seasonal moisture changes and varying weather conditions. Clay soils that become too dry will shrink and not be able to maintain the physical elevation of a structure's foundation. High ambient temperatures and long periods of inadequate rainfall can cause moisture loss several feet below the surface and take a devastating toll on foundations. Conversely, clay soils that become overly saturated can lose their load bearing capacity.

Guidelines regarding residential foundations and soil moisture changes:

- ❑ The key to maintaining foundation elevations is proper drainage. Water should always run away from the house with no pooling of water near the foundation. Soil should be about 2" below the top of the perimeter grade beams, and slope about 1"-2" per foot for a minimum of 18" away from the perimeter. It is recommended to place fill dirt at perimeter grade beams, gutters, and splash blocks under downspouts. Only clay-like soils should be added around the perimeter, NOT porous or sandy soils.
- ❑ Keep an eye on the soil conditions around your house by looking at the "soil line," which is where the soil meets the concrete beam wall. If the soil line has pulled away from the foundation more than 1/2", it is time to water. Ideally, the soil should be snug against the wall. If you see that the soil has pulled away, it is recommended to not add water directly into the separation because it may settle under the beam and make the soil in that area too wet. Instead use a sprinkler or a soaker hose. The separation should close by itself in a few days.
- ❑ The moisture content of the soil at the perimeter of the foundation should be slowly increased and maintained during all seasons. Water the foundation in a uniform and systematic manner with an automatic system or soaker hoses placed 12"-18" from the perimeter beam wall. The key is to keep the soil moist but not muddy. Watering every other day for about twenty minutes is usually sufficient, but should be increased during very hot, dry periods when drying cracks occur. During hotter seasons, the South and West sides of the house might require more watering because of exposure to more direct sun than the North and East sides.
- ❑ It is recommended to not plant trees or shrubs next to the foundation because their roots sap moisture from the soil, both at the foundation and under the slab. This then lowers the moisture content of the active supporting soil at various places, which can cause differential settlement of the foundation. Trees, in particular, should be planted no closer than their expected growth height (i.e. if a tree is anticipated to grow 30' tall, it should be planted at least 30' away from the house.) Also, certain fast growing bushes (like red-tipped Photinias) should be avoided completely, if possible, because they consume large amounts of water, hence fast-growing.

Most major foundation movements can be prevented if the active supporting soil is well maintained. The extent of distress will be lessened and the service life of the residence will be considerably increased.

Lee Charles Page, P.E. #61555 - (972) 268-4140



Please Mail Check to:
Daniel's Plumbing and Air Conditioning
8204 N. Lamar Blvd, Suite B9
Austin, TX 78753
Billing Inquiries: (512) 490-6700
All other inquiries: (512) 490-6700

Invoice 74384115
Invoice Date 1/19/2023
Completed Date 2/13/2023
Customer PO
Payment Term Due Upon Receipt
Due Date 1/19/2023
Inh Address

Billing Address

229 Wells Bend
Hutto, TX 78634 USA

229 Wells Bend
Hutto, TX 78634 USA

Description of Work

Option # 1

Performed a camera inspection from the exterior clean out, also from kitchen and lavatory sink drain at guest bathroom, the customer had some foundation work done and was told he had several leaks, I found no breaks at the kitchen, laundry, master bathroom or main. I did find a fractured section of pipe up stream from the exterior clean out and into the exterior grade beam,

- * Remove bush.
- * Excavation of soil for access hole
- * Excavation of soil to expose the fractured pipe.
- * Installation of hardware to hang and secure the sewer main.
- * Removal and replacement of the damaged section of pipe bringing it to the outside of the exterior grade beams tying onto the existing sewer main at clean outs.
- * Installation of new duel sweep clean outs.
- * Backfill of the tunnel and access hole.
- * Heavy hydro jet to rid of build up and debris.
- * City permit and inspection.
- * Engineers Letter.
- * 5 Year warranty on pipe and installation

Note: once this project is complete a hydrostatic test will be performed at no extra cost to the customer.

Task #	Description	Quantity	Your Price	Your Total
TNNL02	<u>Scope of work to include:</u> Dig one access hole at exterior of perimeter beam of building, dig horizontal tunnel under building following existing building sewer. Remove existing drain piping servicing plumbing fixtures in building, reinstall schedule 40 PVC piping under building to existing sewer line at exterior of building. We will secure all new piping to foundation of building using approved anchors (riser clamps, drop in anchors) to prevent pipe shifting or losing grade over time or during backfill. All dirt will be backfilled and all excess dirt and old pipe will be disposed of off-site. Beam repair and backfill will be done in accordance with City of Austin and structural engineer. <i>In the event rock is present in tunnel and requires breaking out in order to proceed with excavation an additional \$270 will be added to estimate for every foot of rock that requires removal.</i> Estimate includes permit fees and inspections done by structural engineer and City of Austin inspector. City of Austin requires whole house hydrostatic test to be QTY TO EQUAL FEET.	8.00	\$950.00	\$7,600.00
DIGADD02	Additional Engineer Report	1.00	\$720.00	\$720.00
DIA1005T	City residential permit (only on projects under \$25,000, and only one permit location)	1.00	\$230.00	\$230.00
DR1007T	Hydro jet main sewer line up to 6" with accessible clean out.	1.00	\$1,344.00	\$1,344.00
Discount Given	Discount Given- Approved by Claude Ridley	1.00	\$-1,894.00	\$-1,894.00

Paid On	Type	Memo	Amount
12/12/2022	01 - ST Credit Card Charge		\$5,000.00

Potential Savings	\$1,098.70
Sub-Total	\$8,000.00
Tax	\$0.00
Total Due	\$8,000.00
Payment	\$8,000.00
Balance Due	\$0.00

Ask us about our financing!
Follow us on Facebook
<https://www.facebook.com/danielsaustintx/>

Daniel Lawlis - Master Plumber - 37341
Texas State Board of Plumbing Examiners P.O. Box 4200 Austin, TX 78765
Physical address/location of office and exam center: 929 East 41st St, Austin, TX 78751

Jeff Lawlis, P.E. - Air Conditioning and Refrigeration - TACLB 66171E
Texas Department of Licensing and Regulation, P.O. Box 12157, Austin, Texas 78711
1-800-803-9202, 512-463-6599, www.tdlr.texas.gov

I hereby authorize Daniel's Plumbing and Air Conditioning to complete the above work in the amount of \$8,000.00 to be performed at 229 Wells Bend, Hutto, TX 78634 USA. I authorize Daniel's Plumbing and Air Conditioning to process the agreed-upon payment for the amount specified on this invoice. Terms and Conditions ©2022, Daniel's Plumbing and Air Conditioning™. One Call. One Company. License#RMP-38199

1/19/2023
My Signature here signifies my final acceptance of the work done by Marco V. I find that all work has been completed to my satisfaction. I have been given the opportunity to address concerns in the work provided. I have found no such concerns with the work performed today. If any follow-up is required, Marco V, has thoroughly explained the next steps. ©2022, Daniel's Plumbing and Air Conditioning™. One Call. One Company. License#RMP-38199

1/19/2023
I authorize Daniel's Plumbing and Air Conditioning to charge the agreed amount to my credit card provided herein. I agree that I will pay for this purchase in accordance with the issuing bank cardholder agreement.



PLUMBING ★ DRAIN CLEANING
WATER CONDITIONING ★ WATER FILTRATION
HEATING COOLING

512-490-6700 | www.DanielsAustin.com

Dig Terms and Conditions for Trenching and Excavating

I am fully aware that Daniel's Plumbing and Air Conditioning will be conducting trenching and/or excavating activities on my property and I hereby authorize access for such trenching and/or excavation equipment, vehicles and personnel. I agree that I will not hold Daniel's responsible for any damage caused to items above or below ground, including but not limited to the following: lawn sprinkler piping, utility lines (cable TV, telephone, gas & electric, sewer & septic), barbecue grill lines, landscaping, patios, driveways and sidewalks. As well as any ruts, depressions or inspection holes in trenches or excavations.

Underground Utilities. I understand that Daniel's will contact the underground utility location company which location company will, in turn, locate and mark out all underground utilities. Liability for improper mark-outs will rest with the location company, the utility owner or the property owner in accordance with the Underground Utilities Act. In no event shall Daniel's be liable for any damages resulting from improperly marked out utilities, wires, pipes, etc.

Unforeseen Conditions / Rock. Unforeseen conditions including, but not limited to excessive rock are not included in the cost of this project. In the event rock is discovered once the project has begun, additional charges may apply. An occasional rock may not warrant additional charges, but continuous or large diameter rock formations and/or solid rock likely will. Rock excavation costs will be determined by the technician and are solely dependent upon the circumstances of the project and property. By way of example and not limitation, other examples of unforeseen conditions are unmarked or improperly marked underground utilities, sewer taps or valves in the wrong location, sandy soils, or excessive water. In these instances, our Service Expert will stop the project and contact you about the situation. If these unforeseen conditions cause significant delays, an additional charge may apply. Daniel's will use its best efforts to keep any additional costs as low as feasible and will not perform any additional work without prior authorization. Off-Site Removal of Excavated Debris. Tree stumps, roots, rock, etc. are not permitted to be used as backfill and therefore may not be placed back in the excavated trench. Daniel's will relocate these unearthed items to a suitable location on your property (the project site). However, the off-site removal of said excavated material is not calculated in your project and therefore, not included in the price. If off-site removal is necessary, there will be an additional charge for such services.

Rough Grading / Unsuitable Soils / Wet Conditions. I understand that Daniel's will backfill all trenched and/or excavated areas to a rough grade. However, soil, and particularly soil that is wet or moist, will settle and even though we will tamp the backfilled areas, settling may still occur. Your total investment for this project does not contain any contingency for finish landscaping or additional topsoil or seeding, if needed, unless expressly stated in writing. Other factors affecting the final appearance of a rough grade can include whether the excavating or trenching work was performed in connection with, though not limited to, a leaking water line, a drain stoppage, or a broken drain line. Excavation work that is performed under wet conditions, or under conditions that cause some degree of moisture to mix with the soil, will result in conditions that are less than optimum for digging and backfilling. Any rain during our excavation or backfilling will only amplify any unsuitable conditions.

Landscaping, Driveways & Concrete Walks. Daniel's will take reasonable measures to protect and avoid damage to trees, shrubbery, walkways, driveways, patios, fences and landscaping. However, you understand that some landscaping and hardscape items may be unavoidably damaged, and you agree that Daniel's shall not be held responsible for potential damages that may occur during the project.

Warranty. The Warranty provided by Daniel's Plumbing & Air Conditioning covers the work performed under this agreement as set forth herein. The Warranty does not extend to, nor will Daniel's Plumbing & Air Conditioning be responsible for any pre-existing conditions that are not part of the work expressly covered under this agreement.

Miscellaneous. In the event that your account is subject to collection activities, you agree to pay all attorneys' fees and costs associated with such collection. In addition, if the account is placed for collection, all warranties issued for the project are void and null until all outstanding amounts are paid in full. This contract sets forth the entire agreement between the parties. Any and all prior agreements, warranties, oral discussions, or representations made by either party for the work covered under this contract are superseded by this contract.

I have read, understand, and agree with all of the above terms